



GILBERT'S
HILL
Lyndoch

URBAN DESIGN GUIDELINES





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DESIGN VISION

Project Location

Just 56 kilometres from Adelaide, on the edge of the historic village of Lyndoch, the doorway to the world famous Barossa Valley, lies Gilbert's Hill. Gently rising to offer sweeping panoramic views over vineyards to the north and east, Gilbert's Hill offers a rare chance to build a bespoke home in a valley where development is very limited.

Design Vision

Designed to provide medium to substantial sized allotments, Gilbert's Hill is designed to take full advantage of its natural gentle slope.

As part of our Social Commitment, 3 spacious reserves offer recreation space and advantageous public facilities - playgrounds and a communal barbecue. One of these generous reserves forms part of an character entrance statement.

Internal roads are designed to offer 'line of sight' views to the surrounding Barossa Ranges. Through traffic has been discouraged for safety and privacy.

A 5 metre wide linear reserve buffers Gilbert's Hill from Gilbert's Hill Road.

Why have Design Guidelines and Restrictions?

Your contract to purchase the land allotment includes an encumbrance which requires you to follow the Urban Design Guidelines and seek an approval prior to starting the process of applying for your Development Approval.

Urban design guidelines are designed to manage the delivery of good quality homes in landscaped streetscapes to create a welcoming and pleasant residential address for the residents. The guidelines aim to deliver a minimum standard for presentation within the development to support the expectations of you as the buyer.

To achieve the best outcome for the community by:

- Encouraging variety in housing styles that are in harmony with each other and the streetscape; and
- Providing a high level of presentation to the neighbourhood; and
- Protecting the amenity of the neighbourhood.

By following the guidelines, you will help to contribute to the creation of a more desirable neighbourhood and create a community that you will be proud to call home.

These guidelines cover things such as:

- Design Controls for external materials and colours, fencing and window furnishings;
- Provide a guide to understanding the covenant approval process; and
- Timeframes in which you need to start and complete building your home.

TIMELINES

HOUSE TIMELINE	LANDSCAPE TIMELINES
<ul style="list-style-type: none">• Construction of the dwelling must commence within 18 months from the date of settlement of your allotment.• Best endeavours are to be undertaken to complete construction of the dwelling within 12 months of build commencement.• You must not occupy your home until your home is completed. This includes your driveway and window blinds/curtains to street facing windows.	<ul style="list-style-type: none">• Driveways are to be completed within 6 months of dwelling build completion.• Front Garden landscaping is to be established within 3 months of dwelling build completion.• Rear Garden landscaping is to be established within 6 months of dwelling build completion.

If you choose to sell your vacant allotment you are required to include the Re-sale Deed as per your contract documentation. This is to ensure that the encumbrance is passed on to the future purchaser and thus bind them to the same building controls as your neighbours.

APPROVAL PROCESS



GLOSSARY

Common Planning and Encumbrance Terms

Development Approval The legal approval required before you start building. Issued by council. Comprises of two parts, Planning and Building Rules Consent. Planning assesses your design against the Planning and Design Code. Building Rules Consent assesses your design against the Building Code of Australia. Approval of your design against these guidelines doesn't constitute part of either of the above, it is an additional approval required ideally before you submit for planning approval.

Setback this term refers to the minimum distance the outside face of the wall of your house must be from the boundary of you lot.

Building Envelope Plan BEP Building envelope plan is a plan that shows the required setbacks and other important information that must be adhered to when designing and siting your house on a lot.

Private Open Space is a planning term used to describe the minimum size of your private outside garden space. The minimum areas are prescribed in the Planning and Design Code.

Dwelling (front, side, rear) The front of a dwelling (house) is where your front door is. The rear is the opposite side. The sides are the remaining sides.

Articulation Is a term to describe the interest in a design of a house. More articulation would suggest more features, varying setbacks and interest.

Articulation Zone In the building envelope plan there may be an articulation zone in addition to the setback. The house may not extend into an articulation zone, but design features that are not enclosed such as verandahs, balconies, blade walls, eaves and pergolas may.

Roof Pitch This described the slope or angle of the roof. A horizontal roof would be 0 degrees. The steeper the roof the higher the angle.

Planning and Design Code (PDC). This is the legal planning code which controls what you may or may not build. At you planning approval phase your design will be assessed against it's requirements. These guidelines are in addition to the PDC.

Building Height This is the overall height of your house from ground level.

Zero Lot – Wall on Boundary Some houses may be built with one wall running along a boundary if the Building Envelope allows.

Encumbrance Refer to the process of approval requiring you to comply with these guidelines.

Council Is the local government authority in charge of issuing you your development approval.

Overlooking Is the ability to see into your neighbours private garden area or rooms. The Planning and Design Code looks to eliminate this.

Landscape Refers to planting and paving around your house.

Common Technical Terms

Services This term encompasses all utilities required in a house such as electricity, gas, NBN, water and sewer.

Retaining Wall Is a wall that holds back ground where there is a need to step levels. They usually are located under fences.

Civil Design This refers to the design of the rain water collection and disposal, and footing design.

FFL Finished Floor level is the level of the ground floor of your house.

Gas Meter (Wall Box) Gas meters must be installed in accordance with the technical regulator rules. One option is to hide the meter in box in the external wall of your house. This is called a wall box. If the meter is located in a garden bed with a cover this is called a garden box.

Rainwater tank - Retention / Detention You are required under the Planning and Design Code to have rainwater tank of a minimum size to retain or keep (Retention) and sometime also detain or slow the release of (detention). These are minimum requirements. The Building Code of Australia also requires a minimum volume of retained water.

Bush Fire – Bushfire Attack Level BAL is defined in the Planning and Design Code for your lot. The Building Code of Australia then prescribes what additional features your house must have to increase it's fire resistance.

Irrigation Is the system to provide water to your garden beds.

Common building terms

Masonry This term covers all clay and concrete bricks and blocks. AAC (Hebel or Aerated Autoclaved Concrete) is also something included.

Mortar The cement based material used to join bricks and blocks.

Render The cement based coating used to cover bricks and blocks to create a smooth uniform surface. This is then painted.

Weatherboard The is a term to refer to timber or fibre cement planks fixed to the outside of a wall. These are then painted.

Cladding This term covers all timber and fibre cement weatherboard and sheet products that are fixed to a timber frame.

Window (Aluminium / Timber) Window frames that hold the glass can be made from aluminium, timber, PVC or steel.

Fibre Cement Sheet Is a very common building material used for weatherboards and sheet claddings that are fixed to the timber frame of houses. These are often used as design features.

Aerated Autoclaved Concrete AAC (Hebel) Is a manufactured lightweight concrete used to clad homes. It is required to be rendered and painted.

Energy Rating – Star Rating This refer to the energy efficiency of the house as measured by a method defined in the Building Code of Australia. The scale is from 0 to 10 stars. The BCA 2019 requires 6 stars as a minimum.

Common Design Terms

Eave Is the outside ceiling created when a roof overhangs the external wall.

Porch Describes the covered area for the entry door.

Portico May suggest the porch is more defined often raised higher than the adjoining roof.

Verandah An outside area adjoining the house covered by a roof. May be to the front or side.

Blade Wall A wall that is used to create additional articulation.

Fence (front, rear, side, street side)

Front Fence Fence that sits forward of the house in front of the front of the house.

Rear, and side fences Sit to the rear and side of the house.

Return Fence This is the small section of fence where the side fence connects back to the house, but does not sit forward of the house.

Street Side fence This where on a corner lot, the side of the house that also faces a street has a fence.

Driveway The hard paved area of your front garden that allows your car to access the garage.

A – Front Wall

B – Porch / Verandah

C – Front Setback

D – Front Door

E – Articulation

F – Zero Lot (wall on boundary)

G – Pedestrian Path

H – Driveway

I – Roof Pitch

J – Down Pipe

K – Cross Over

L – Footpath

M – Eave

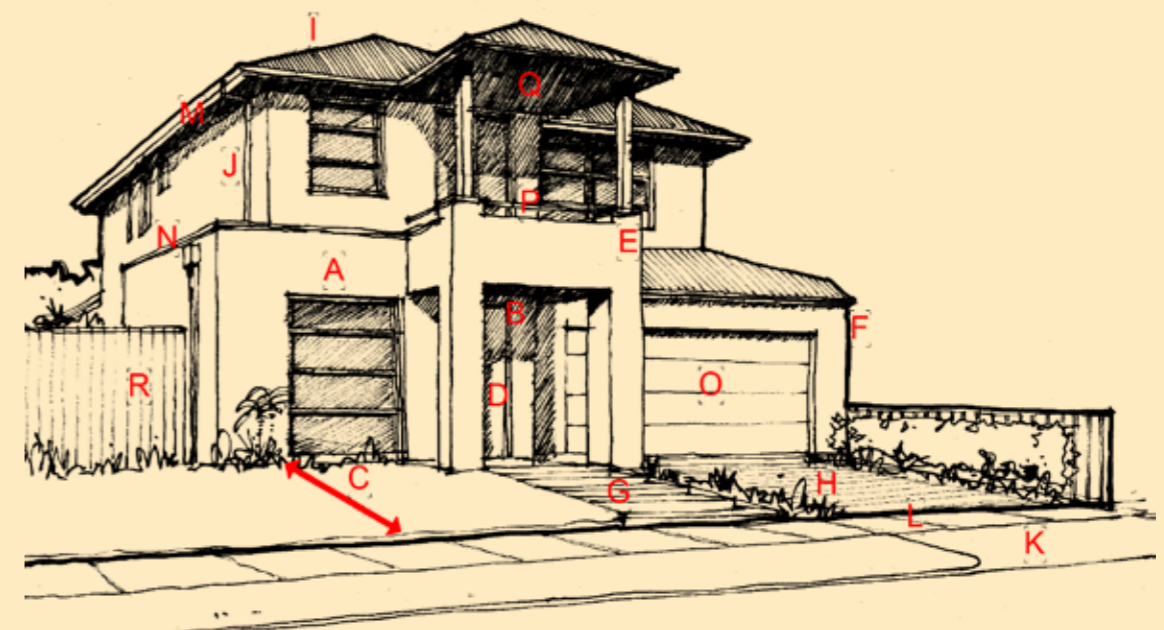
N - Parapet

O – Garage Door

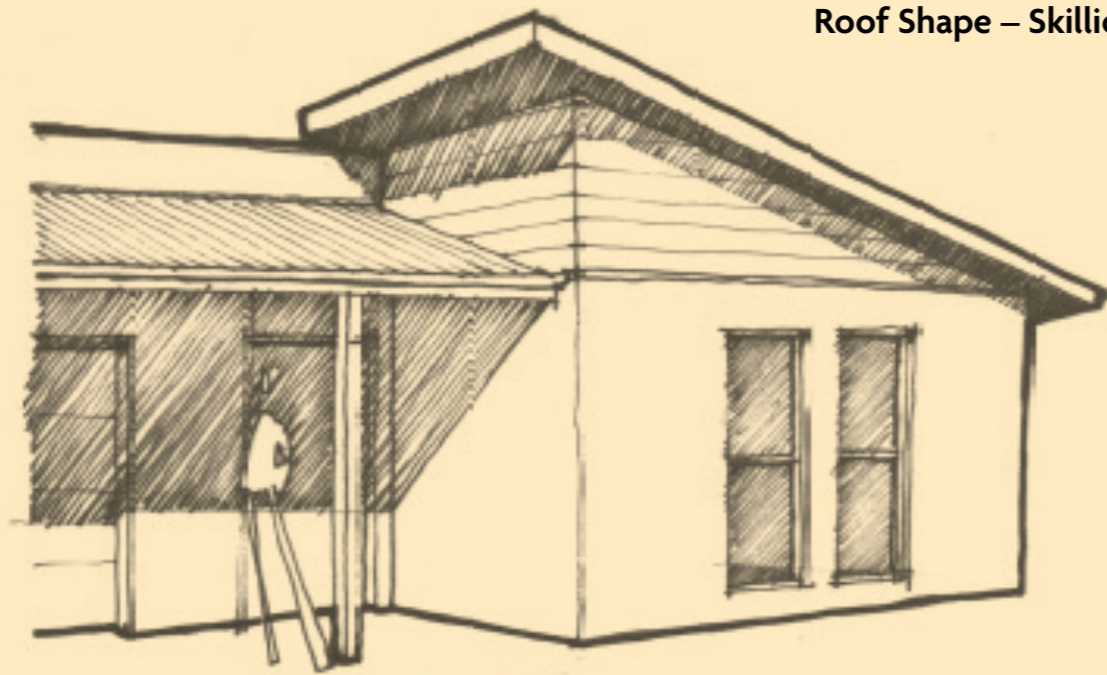
P – Balcony

Q - Soffit

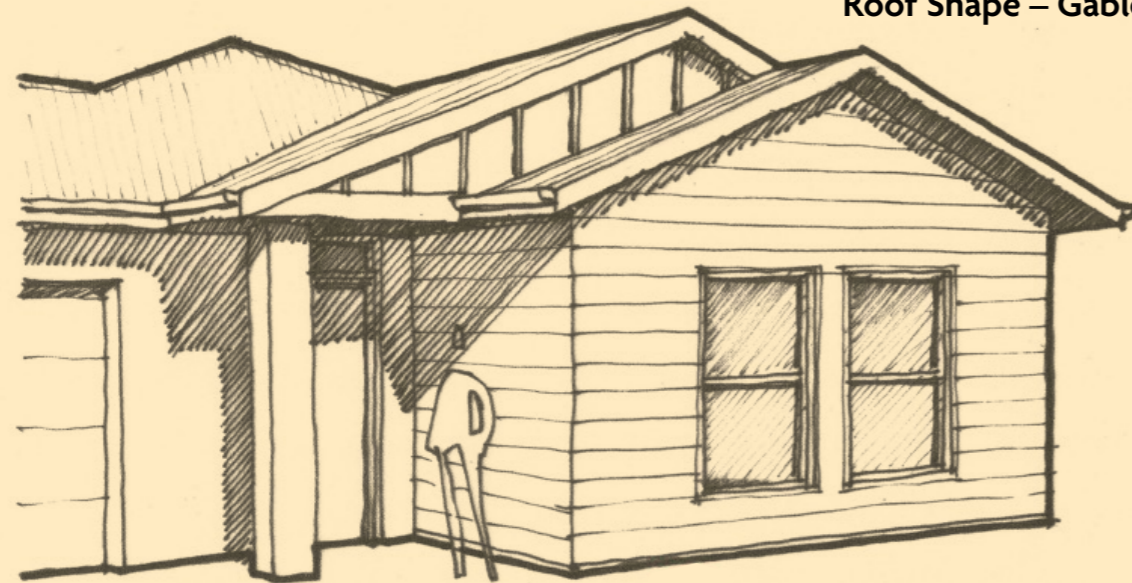
R – Return Fence



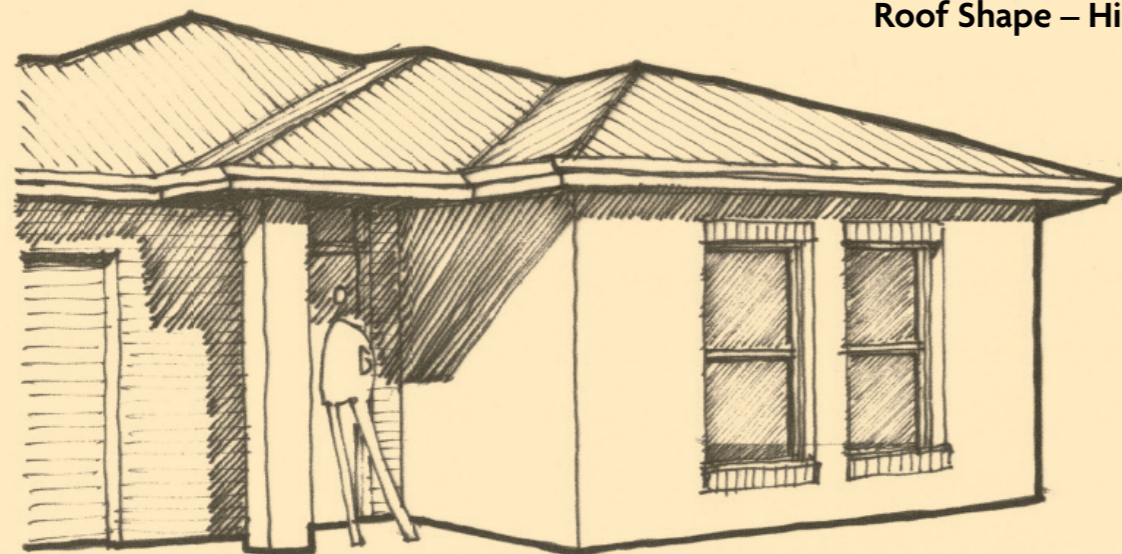
Roof Shape – Skillion



Roof Shape – Gable



Roof Shape – Hip



SMART IDEAS



AGEING IN PLACE

If you are planning on living in your home as you age or you have an elderly relative living with you, we suggest you familiarise yourself with the Livable Housing Australia Design Guidelines

Design guidelines (livablehousingaustralia.org.au)

These guidelines provide a comprehensive guide on how to future proof your house design.



SUSTAINABILITY – WHAT CAN YOU DO?

Maximising the opportunity to minimise your house energy costs. A new house design has the potential by utilising the principles of passive design to maximise the free energy from the sun and keep it out in summer.

www.yourhome.gov.au/passive-design

In Adelaide sun shines from the North. Locating living areas to the North and designing shading to keep out summer sun will help reduce energy use but also provide nicer sun filled spaces.



CONDENSATION

An unfortunate outcome of building better sealed and insulated houses is the increased risk of unwanted condensation. Ask your builder how they will address this. We believe well ventilated roof spaces and the use of class 4 vapour permeable sarking is an important part of modern building.



SOLAR PV SYSTEMS

Free energy from the sun. With lifestyles and the many rebates effecting the best options we suggest you talk to a specialist to find the best option for you. Please note solar panels must not be located on the street fronting face of the roof.



HOME BATTERY SYSTEMS

Generating the energy from the sun is step 1, having ready for you when you want to use is step 2. With lifestyles and the many rebates effecting the best options we suggest you talk to a specialist to find the best option for you.



HOW TO BE BUSHFIRE READY

Living in a bushfire zone you need to be prepared. This is not just systems you add to our house, but clever design of your house can make it more resistant to bushfires. Something as simple as avoiding building shapes that create internal corners / courtyards that could collect embers.

research.csiro.au/bushfire/new-builds/



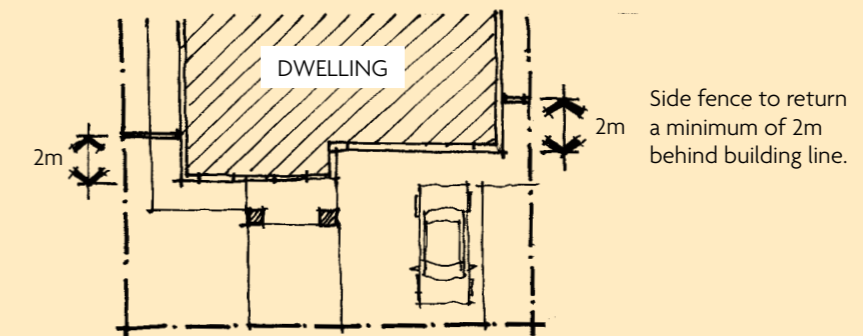
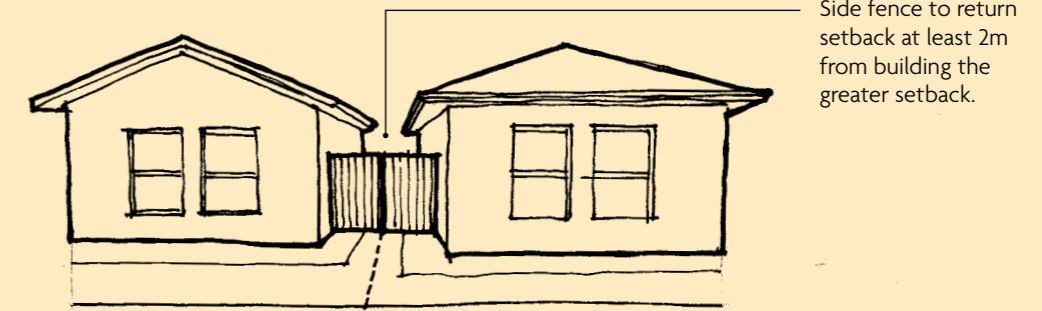
WATER – ARE YOU READY FOR THE NEXT DROUGHT

In Australia you are unlikely to experience average rainfall. It is often in either flood or drought. When in drought the ability to use mains water to irrigate your garden may be stopped to save water. Selecting drought tolerant plants and installing larger rainwater tanks will allow you to manage this better.

FINISHING YOUR HOME

Fencing

- Side and Rear fencing and gates must be Colorbond Good Neighbour S Rib Profile or matching system.
- Colour: Colorbond-Woodland Grey / Colorbond Fence-Grey Ridge / Stratco-Slate Grey.
- Side and rear fencing must be located on the boundary. Return fencing and gates must finish 2m behind the front building line.

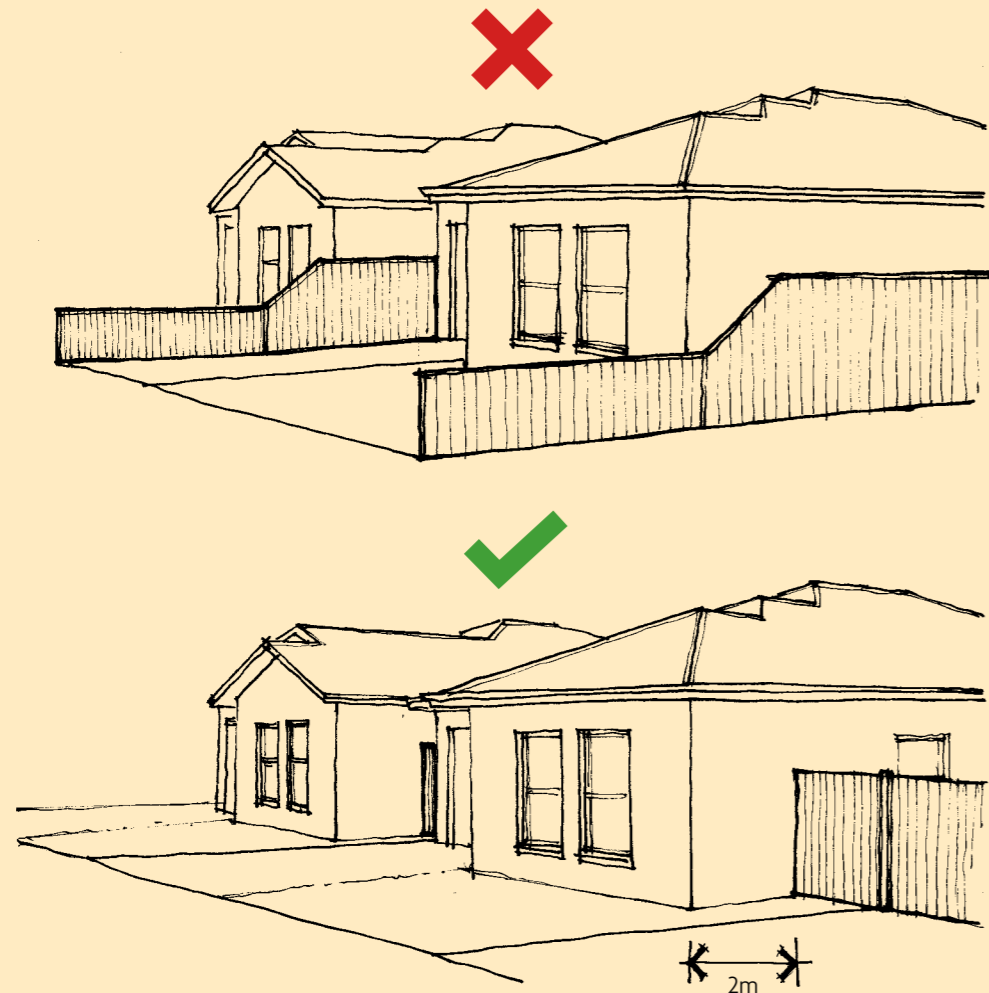


The cost of fence is shared by the two neighbours. To understand the process and access to forms required please see the link below.

www.sa.gov.au/topics/housing/owning-a-property/boundaries-fences

Front Fencing

- Front fencing forward of the return fence is not allowed.



Retaining Walls

- Retaining walls must be less than 1m in height.
- Retaining walls forward of the main building line must be constructed using higher quality materials including rendered masonry, patterned precast concrete, locally sourced rock, or proprietary interlocking pavers and should be designed with colours and materials to visually integrate with the main dwelling on site.
- Timber sleepers must not be utilised for retaining soil. Plain concrete sleeper retaining walls may be used in cut behind the main building return fence line in areas not visible from public view.

All walls must be shown on the siteworks plan and submitted for approval by the Encumbrance Manager.

Plinths under fences up to 200mm may be plain concrete.

Letterboxes

The design of letterboxes is to be consistent with, and complement, the design, style, materials and colours of the main dwelling.

Landscaping

Landscaping to the front of your house must be approved by the Encumbrance Manager. A Landscaping plan is required. To assist with this, we have provided proforma plans for you to select in the attachments. Please select the design option to prefer and add details as prompted on the proforma before lodging.

https://plan.sa.gov.au/__data/assets/pdf_file/0008/1100879/Adelaide_Garden_Guide_for_New_Homes_-_Summary.pdf

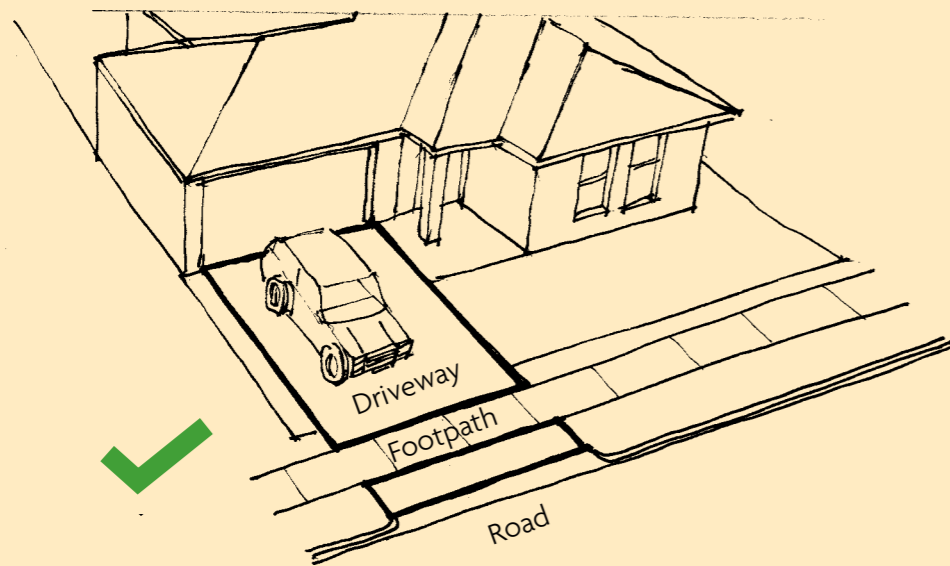
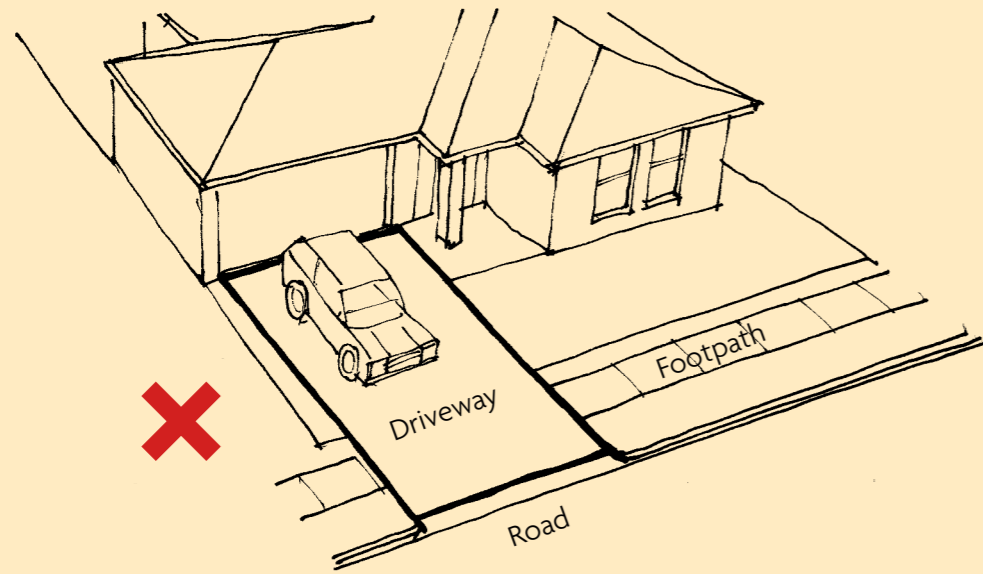
https://plan.sa.gov.au/__data/assets/pdf_file/0019/1100881/Adelaide_Garden_Guide_for_New_Homes.pdf



Driveways

Driveways must be:

- Installed before you move into your house.
- Constructed from coloured concrete, Clay, concrete, slate or natural stone pavers, Exposed aggregate concrete. Plain concrete driveways are not permitted.
- Where footpaths are provided driveways must be carefully constructed to abut each side of the footpath. They must NOT cut through existing footpaths.
- Have maximum width at the property boundary of 5.0m.



Blinds / Curtains

Use of temporary window screening (ie newspaper) after you move in is prohibited. Ensure blinds and or curtains are installed to street facing windows before you move in. Ask your builder for access to allow these to be made while the house is being finalised.

Sheds

All shed or outbuildings larger than 15 sqm require the approval of the Encumbrance Manager.

- The maximum height of any shed or outbuilding must not exceed 3.6m at the ridgeline with a maximum wall height of 2.7m (excluding gable infills).
- Sheds and outbuildings must be located so that they are not visible from the primary street.
- A minimum 600mm setback is to be maintained from any non-street frontage property boundary.
- For sheds larger than 42sqm a minimum 1,200mm setback is to be maintained from any non-street frontage property boundary.
- A minimum of 6m setback is to be maintained from any primary or secondary street frontage.
- All sheds must be colorbond and have an external finish that is complementary to the surrounding environment (zincalume, galvanised finishes, or other highly reflective materials are not allowed).

DEVELOPMENT RULES



BIN STORAGE Bins must be stored behind the fence line and not visible from the street. Bins must not be left out overnight other than the night before collection.



VERGE MAINTENANCE Maintenance of the verge / nature strip is the owner's responsibility.



SIGNAGE Builders or tradespersons identification signage, having a maximum size of 1200mm x 900mm, required during dwelling construction is permitted. These signs must be removed within 10 days of moving in.

A sign advertising the sale of a vacant lot or completed dwelling having a maximum size of 1800mm x 900mm is permitted. These signs must be removed within 10 days of the property being sold.

Home business signs will be considered providing that the sign is not larger than 200mm². These signs must obtain written approval from the Encumbrance Manager.



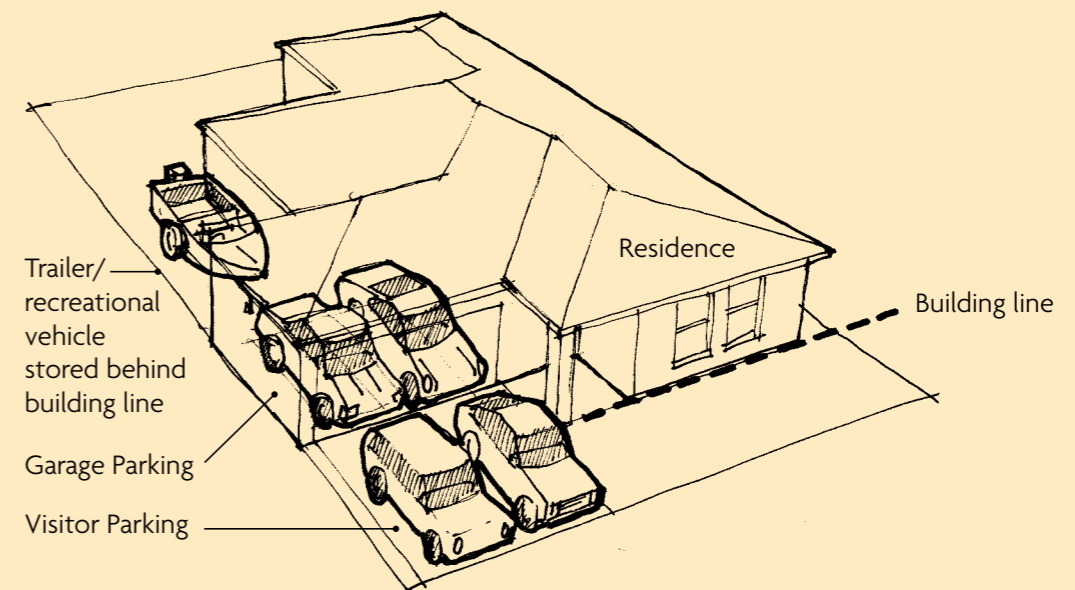
CARAVANS / MOTORHOMES / TRAILERS After construction is complete, no caravans, trailers, watercraft or similar are permitted to be parked or stored forward of the building line.

No vehicles are permitted to drive or be parked on nature strips at any time.



GARAGES MAY NOT BE USED AS A HABITABLE ROOM OR FOR STORAGE ONLY

Garage and carport areas may not be used as storage or living areas or converted into living areas, that limit their ability to be used for car parking.



Dependent Dwellings

A dependent dwelling is the provision of a second dwelling either attached or detached to the main dwelling that is dependent on the main dwelling. For the purpose of these Guidelines dependents is defined as the dependent dwelling not having a laundry.

Dependent dwellings are permitted provided that:

- The dependent dwelling sits within the BEP and the overall dwellings complies with any site coverage, landscape and setback requirements.
- Land may not be subdivided.
- Maximum Floor area 55sqm.
- Single storey only.
- Maximum of 2 bedrooms.
- Not commercially rented, long or short term.
- Dependent dwellings must be constructed with materials similar to the house.
- Only a single meter connection is maintained to service authorities.

SUBMISSION CHECKLIST

Encumbrance Approval submission checklist

- ✓ **Site Plan: 1:100 / 1:200 showing all setbacks to all levels, retaining walls (existing and proposed), overlay physical survey, levels, driveway location and North Point.**
- ✓ **Floor Plans: 1:100 showing all house layout with all rooms named, overall dimensions and internal garage dimensions shown.**
- ✓ **Elevations: 1:100 showing extent of materials, windows obscured for privacy, meter boxes and other relevant services such as solar panels.**
- ✓ **External Colour Schedule: including driveway, retaining walls material if required.**
- ✓ **Landscaping Plan. ****

Property Development Manager Contact Details:

reception@cravengroup.com.au
(08) 8132 4500

PROJECT LOT SERVICING SPECIAL REQUIREMENTS

Sewer	Septic Tank/CWMS
Gas	Retreated LPS Bottled Gas
NBN	Standard NBN available

SITING YOUR HOME

Building Envelope plans

- All information on setbacks, vehicle access points are available on your Building Envelope Plan. Your house and covered alfresco areas must sit inside the building envelope.

Cross Over location and extent

- Your vehicle access point is defined on your BEP. Single and double access points are defined on your BEP. Single cross overs must be 3.0m wide. Double cross overs must be 5.0m wide.
- Where footpaths are provided cross overs must be carefully constructed to abut each side of the footpath. They must NOT cut through existing footpaths.

Existing Trees

Trees nominated to be retained must be protected during construction.

They are identified on the Building Envelope Plan for your allotment.

Construction, including buildings, earthworks (excavation, trenching, fill and compaction) and hard surfaces (paving or concreting) within the Tree Protection Zone (TPZ) or Built Form Setback (BFS) are not permitted.



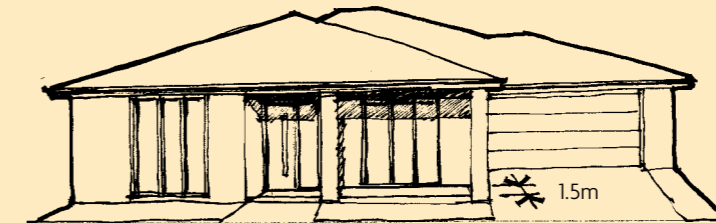
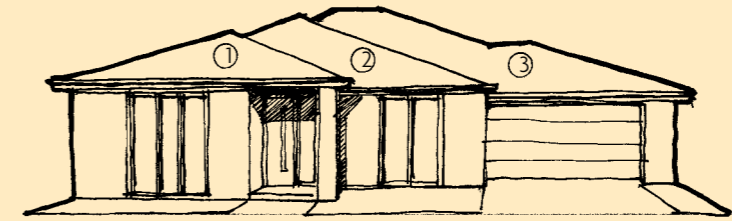
STREET APPEARANCE

Articulation

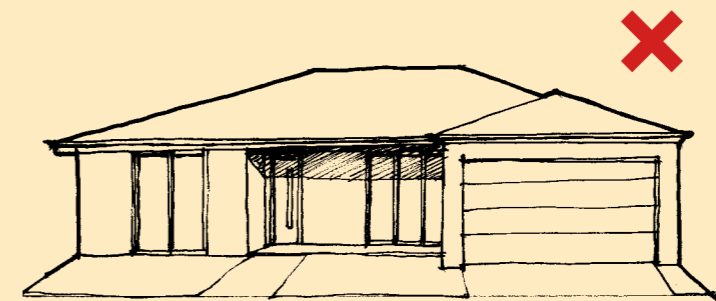
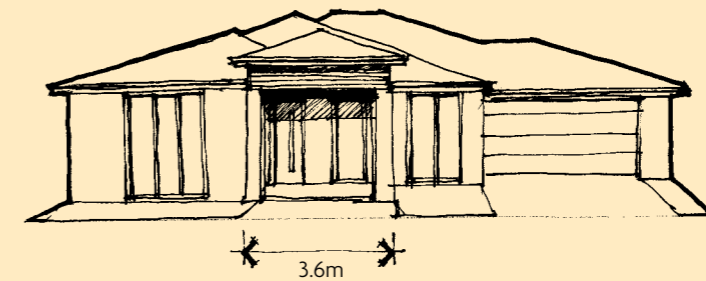
At least 3 of the following articulation options must be provided.

- 3 steps in the frontage creating 3 defined roof steps / ridge lines.
- A raised portico at least 3.6m wide (fascia to fascia).
- A wider porch or portico that cover a window.
- A balcony.
- A pergola with the minimum dimension of 3m wide x 2m deep.
- A verandah or porch at least 8 sqm in area with a minimum depth of 1.5m.

Alternative designs for front facades which demonstrate significant architectural merit and suits the character will be considered.



Level 2/3 Articulation Options



Garage

- Must be recessive to the overall design.
- Garages must be setback as nominate by the BEP from the property boundary. This will differ from the front setback.
- Garage doors must be less than 50% of the house front width.
- Triple garages will be reviewed on a case by case basis.
- All garages and their roof forms must be setback a minimum 1m from the main building line.
- Either be under the main roof or complement the roof form and materials of the house.
- Carports may be provided as an alternative to a garage but must:
 - be under the main roof,
 - be fully enclosed from the street,
 - return their front wall at least 1m to the side boundary (to hide the door mechanism).



Roof

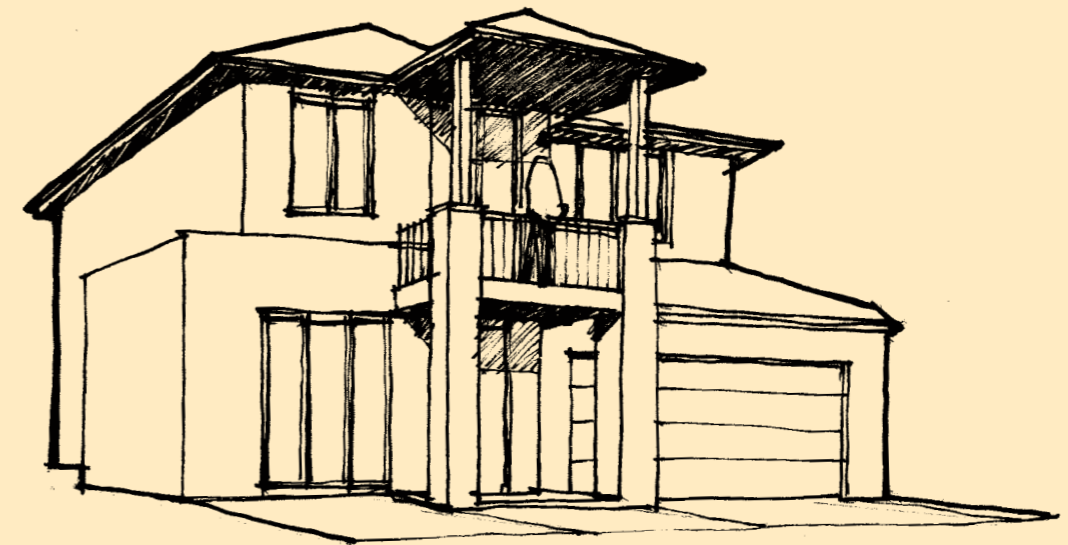
The roof that presents to the main street frontage can be one or a combination of the following:

- An articulated (stepped) hip roof with a pitch of 20 - 25 degrees, incorporating a balcony.
- A low profile, architectural style hip roof with a modern architectural gutter profile specified (such as edge gutter i.e. Mosman or quarter round gutter profiles).
- Skillion roof forms with a minimum pitch of 7.5 degrees. Greater than a 15-degree pitch requires a decorative cladding infill or highlight windows.
- A box gable with a contemporary cladding infill or highlight windows.
- Parapets with a box gutter and decorative rainhead and down pipe, painted to complement the front façade.

Where the roof gutter is exposed, 450mm depth eaves are required as a minimum.

The roof needs to be built with corrugated metal deck (custom orb profile) roofing or flat tiled shingle design. The colour of your roof should be selected to complement the colour of the materials on your home.

Roofs must be light in colour having a solar absorptance < 0.475. This includes the following colorbond colours Surfmist, Classic Cream, Paperbark, Evening Haze, Shale Grey & Dune and Wallaby.



Balconies

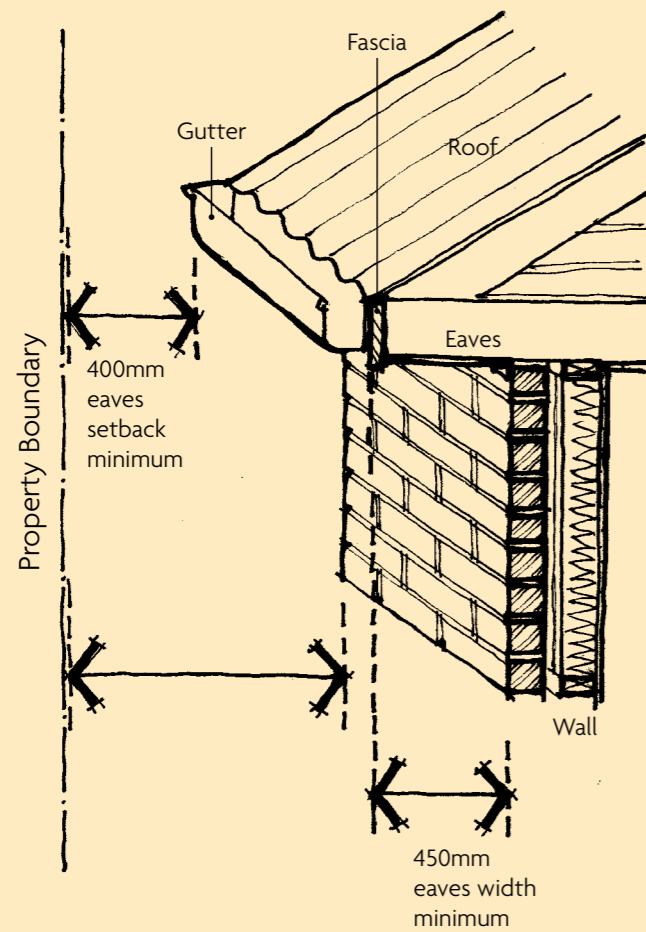
Must be usable with a minimum dimension of 1.8m.

Ceiling Height

Houses must have a minimum ceiling height of 2.7m.

House Separation

BEP side and rear setbacks assume a maximum of 450mm eave. Eaves larger than 450mm require the setback to be increased by an equivalent amount.



Restrictions

- Roll down security shutters are not permitted on the façade of the house that is visible from the primary frontage and the secondary street frontage for corner lot or any public space.
- Security Screen Doors must not be diamond patten style.

Materials

Refer to the colour themes at the end of the guidelines

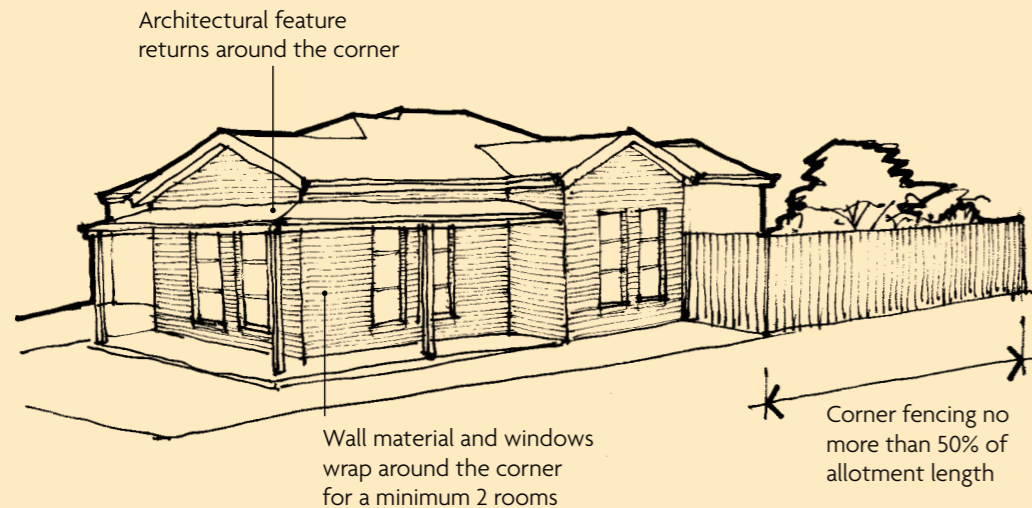
- At least 2 material which must also contrast in colour. The lesser providing at least 25% of the area.
- Dark materials may only be used only as a feature (ie small % <5%).
- Strong bright colours may only be used only as a feature (ie small % <5%).
- No unfinished material may be used.

CORNER LOT STREET APPEARANCE

Articulation & Materials

Corner lots must use the design features / style of the front of the house to articulate the side. Flat walls, uninterrupted gutter and ridge lines will not be accepted.

Locate the extent of the street side privacy fence. The portion of the house forward of this must look similar to the front, similar window style, use of materials and design element(s).



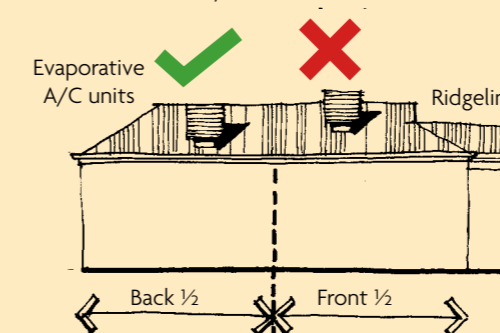
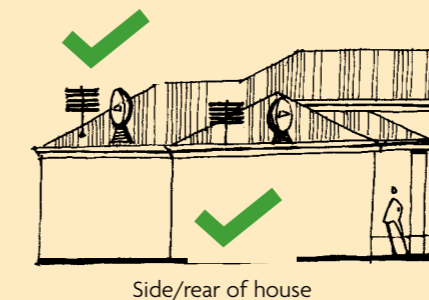
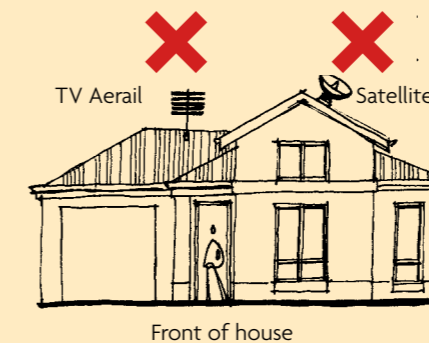
Street Side Fencing

Street side fencing must extent to at most what is nominated on the BEP.

SERVICE & STORAGE

Locations of Services

- Fixtures such as hot water services, heating units, air conditioning units, clothes lines, water tanks, garden sheds, spa motors and the like must not be visible from any street or public space.
- Satellite dishes and TV aerials must be located within the roof space or mounted at the rear of the house as low as possible on the roof (below ridge line). They must be located to minimise their visual impact. On Corner/Reserve lots they must be located away from both frontages.
- Roof mounted cooling units must be low profile, coloured to match the roof, be below the ridge line and placed a minimum of halfway to the rear of the dwelling and must not be located on the corner/reserve side of the roof.
- Meter boxes must be located to minimise their visual impact.
- Solar panels/collectors, must not be on roof faces fronting the street. Panels must be mounted flat against the roof plane and not elevated on a separate frame.
- Solar Hot Water Storage tanks must not be visible from the street or public areas and must be coloured to match the roof.
- Solar pool heating and associated plumbing must not be visible from the street, or public areas.



SITE MANAGEMENT

All building materials and wastes associated with any building site activity must be stored and contained on the subject land until proper disposal can be affected. All light wastes (plaster and cement bags, plastics, wrappings etc) shall be secured and placed in a covered rubbish skip on-site.

It is the owner's/builder's responsibility to ensure the site is well managed during construction to avoid unsightly litter and waste material associated with the construction of a dwelling becoming loose and scattered.

It is also the owner's/builder's responsibility to ensure street trees and footpaths are protected during the construction process.

Dumping of rubbish (including building materials and site excavation material) on vacant allotments is illegal.



NOTES

A series of horizontal lines for taking notes, starting below the 'NOTES' header and extending across the width of the page. There are 20 lines in total, evenly spaced, providing a designated area for handwritten or typed notes related to the site management information on the left.



GILBERT'S
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PROPERTY DEVELOPMENT

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